

PLANNING/ZONING BOARD
BOROUGH OF HALEDON
510 Belmont Ave.
Haledon, New Jersey 07508

AGENDA

Reorganization /Regular Meeting
July 6th, 2023
7:00 P.M.

STATEMENT OF COMPLIANCE WITH THE OPEN PUBLIC MEETING ACT:

Notice of this meeting was given by (1) sending sufficient notice herewith to the Herald News and the Record newspaper and (2) posting this notice on the bulletin boards of various public buildings in the Municipality.

1. Open public meetings act read into the minutes.
2. Flag salute.
3. Call to order.

4. Roll Call of Board Members: Present/Absent

Hans Augustin (Chairman)
Raul Rivadeneira (Board Secretary)
Guiseppe Gonzalez
Karen Colleta
Motez Ramadan
James Booth (Zoning)
Tarell Hannah
Jose Rivas
Shawn Allen

Board Employees/Professionals:

Angelique Jones (Secretary)
J. Morris (Council Official)
Michael Johnson (Mayor)
Board Attorney- Charles Rabolli Jr. ESQ
Board Engineering- Dane Irving

5. Acceptance of meeting minutes: N/A

6. Resolution: 357 West Clinton Street- SYG Realty Group LLC

Motion to memorialize resolution by: _____, Seconded by: _____,

Roll call vote: H. Augustin G. Gonzalez T. Hannah J. Iza L. Lantigua J. Morris J. Rivas M. Johnson J Booth R. Rivadeneira Shawn Evans M. Ramadan K. Coletta

7. Applications:

A. **61 Norwood Street, B:42 L:21 & 8-** Memorialization of resolution Applicant is seeking a minor subdivision and variance to permit a new three-story two-family house on a subdivided lot, existing three-family to remain.

Applicant: Robert Ormezzano Attorney: Alan Mariconda Esq./Engineer: John Bleeker.

Notice provided.

Testimony/Board Comments:

Motion to open the public portion of application by: _____, seconded by: _____.

Roll call vote: H. Augustin G. Gonzalez T. Hannah J. Iza L. Lantigua J. Morris J. Rivas M. Johnson J Booth R. Rivadeneira Shawn Evans M. Ramadan K. Coletta

Motion to close the public portion by: _____, seconded by: _____.

Roll call vote: H. Augustin G. Gonzalez T. Hannah J. Iza L. Lantigua J. Morris J. Rivas M. Johnson J Booth R. Rivadeneira Shawn Evans M. Ramadan K. Coletta

Motion to: _____, application by: _____, seconded by: _____.

Roll call vote: H. Augustin G. Gonzalez T. Hannah J. Iza L. Lantigua J. Morris J. Rivas M. Johnson J Booth R. Rivadeneira Shawn Evans M. Ramadan K. Coletta

B. **470 Haledon Avenue, B:84 L:6,7** – The applicant is proposing a 26-unit mixed use apartment complex.

Applicant: 470 Haledon Avenue LLC, Attorney: William J Rush Esq. Architect: Mathew G. Evans

Notice provided.

Testimony/Board Comments:

Motion to open the public portion of application by: _____, seconded by: _____.

Roll call vote: H. Augustin G. Gonzalez T. Hannah J. Iza L. Lantigua J. Morris J. Rivas M. Johnson J Booth R. Rivadeneira Shawn Evans M. Ramadan K. Coletta

Motion to close the public portion by: _____, seconded by: _____.

Roll call vote: H. Augustin G. Gonzalez T. Hannah J. Iza L. Lantigua J. Morris J. Rivas M. Johnson J Booth R. Rivadeneira Shawn Evans M. Ramadan K. Coletta

Motion to: _____, application by: _____, seconded by: _____.

Roll call vote: H. Augustin G. Gonzalez T. Hannah J. Iza L. Lantigua J. Morris J. Rivas M. Johnson J Booth R. Rivadeneira Shawn Evans M. Ramadan K. Coletta

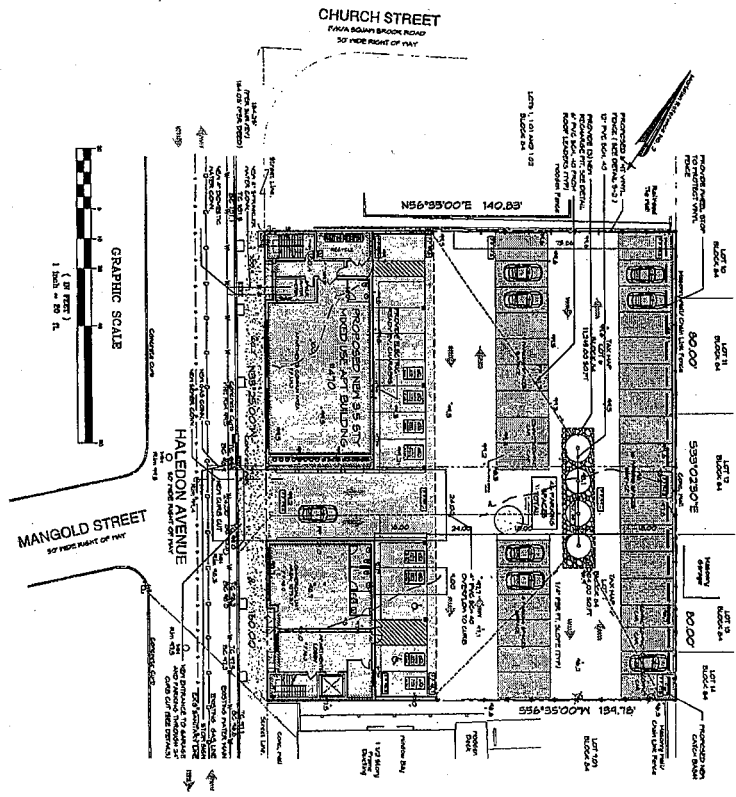
10. Meeting Adjournment:

Motion to adjourn at: _____ pm by: _____, Seconded by: _____.

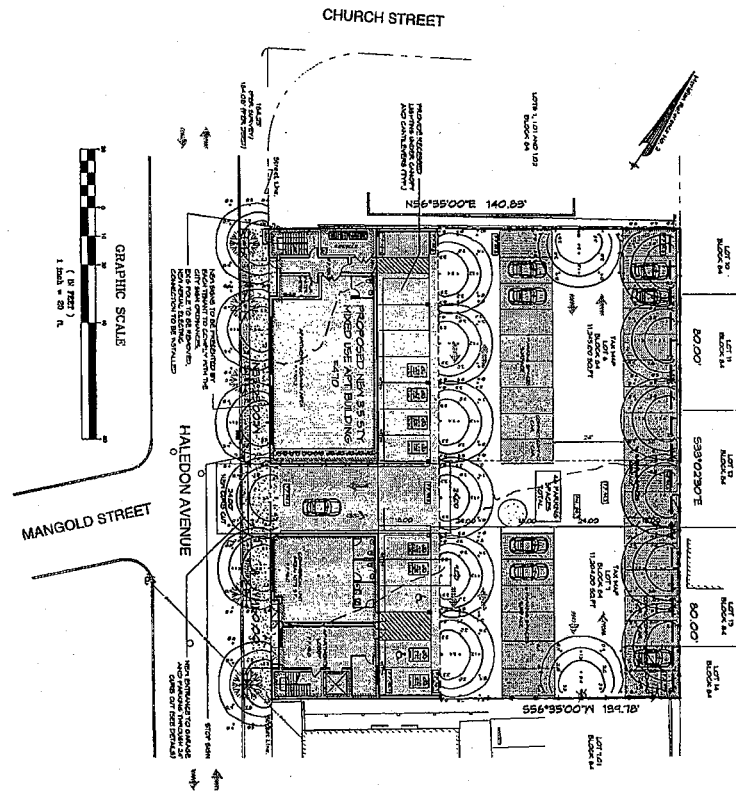
Roll call vote: H. Augustin G. Gonzalez T. Hannah J. Iza L. Lantigua J. Morris J. Rivas M. Johnson J Booth R. Rivadeneira Shawn Evans M. Ramadan K. Coletta

Next meeting dates: September 7, 2023

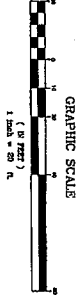
Angelique Jones
Borough of Haledon
Planning/Zoning Board Secretary



UTILITY / GRADING SITE PLAN
SCALE: 1" = 20' (GRAPHIC)

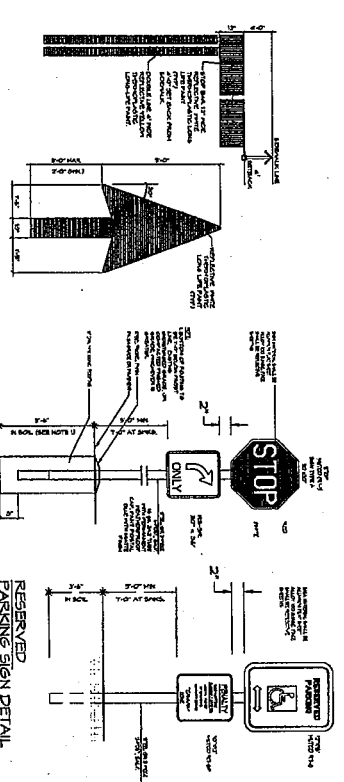


PROPOSED SITE PLAN / LIGHTING & LANDSCAPING
SCALE: 1" = 20' (GRAPHIC)

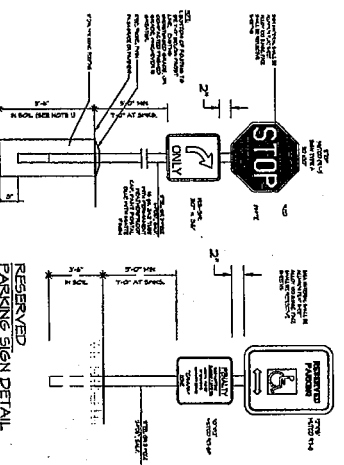


SITE PLAN BASED ON SURVEY
 PREPARED BY:
 DANIEL J. SCHWARTZ, A.L.S.
 470 HALEDON AVENUE, SUITE 400
 HALEDON, NJ 07033
 DATE: 08/15/2018

EVANS ARCHITECTS AIA MATTHEW Q. EVANS ARCHITECT / REGISTERED ARCHITECT	
400 HALEDON AVENUE HALEDON, NJ 07033	
PROPOSED 28 UNIT MIXED USE APARTMENT FOR: 470 HALEDON AVENUE HALEDON, PASSAIC COUNTY, NJ	
THIS DRAWING IS THE PROPERTY OF EVANS ARCHITECTS AIA. IT IS TO BE USED ONLY FOR THE PROJECT AND SITE SPECIFICALLY IDENTIFIED HEREIN. NO PART OF THIS DRAWING IS TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF EVANS ARCHITECTS AIA.	
DATE: 08/15/2018 DRAWN BY: M. Q. EVANS CHECKED BY: M. Q. EVANS SCALE: AS SHOWN	
SHEET NO. S-1 OF 8	

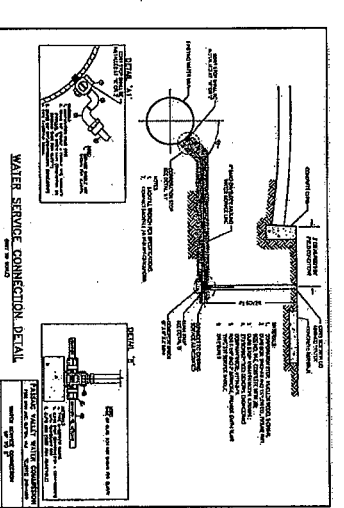


STOP BAR & TRAFFIC ARROW
NOT TO SCALE



STOP SIGN
NOT TO SCALE

HANDICAP PARKING SIGN
NOT TO SCALE



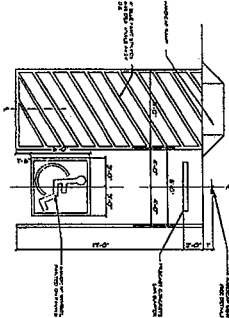
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WATER SERVICE CONNECTION DETAIL
NOT TO SCALE

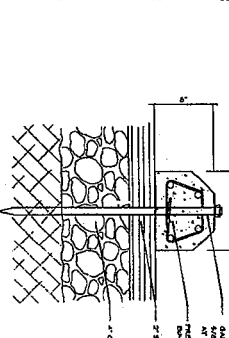
CONCRETE VERTICAL CURB
NOT TO SCALE

THREE PLANTING DETAIL
NOT TO SCALE

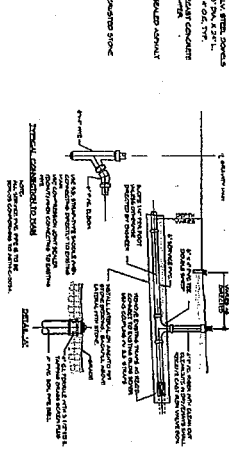
SEWAGE PIT SECTION
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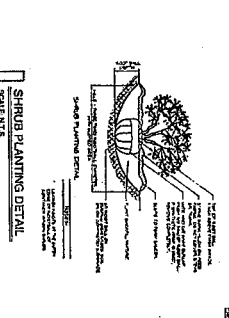
ACCESSIBLE PARKING STALL
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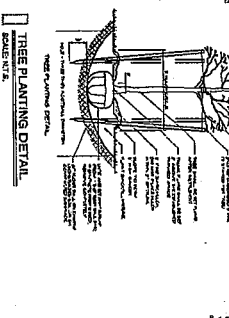
WHEEL STOP DETAIL
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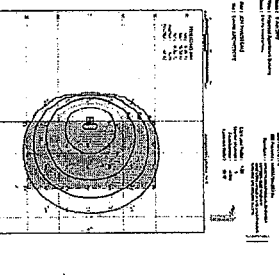
SANITARY SEWER CONNECTION
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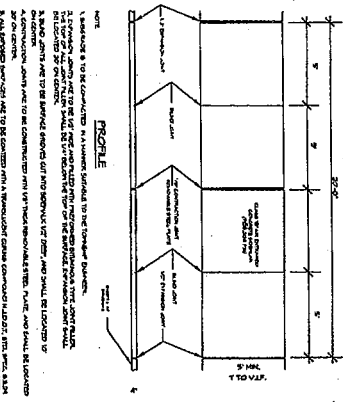
SHRUB PLANTING DETAIL
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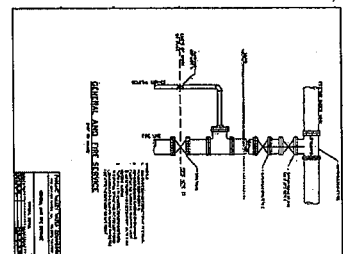
TREE PLANTING DETAIL
NOT TO SCALE



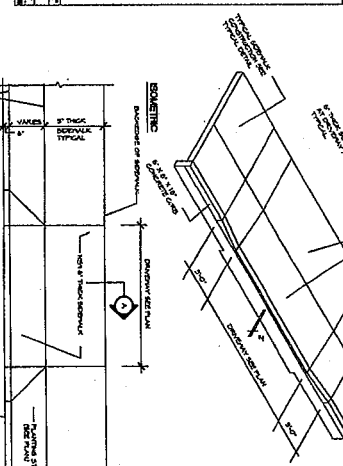
LIGHTING DETAIL
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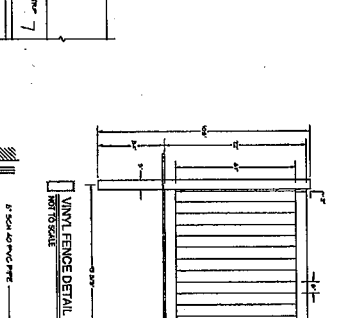
PROFILE
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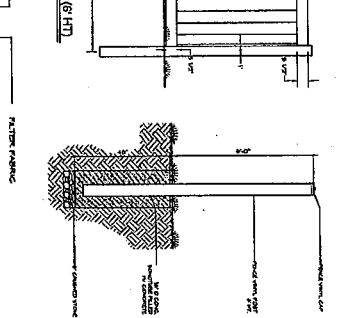
CONCRETE SIDEWALK DETAIL
NOT TO SCALE



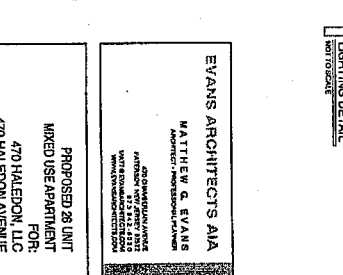
CONCRETE PARKING SURFACE DETAIL
SCALE N.T.S.



SEWAGE PIT SECTION
NOT TO SCALE



VINYL FENCE DETAIL (6\"/>



CONCRETE VERTICAL CURB
NOT TO SCALE

SITE NOTES:

1. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL BUILDING CODE (IBC) AND THE INTERNATIONAL PLUMBING AND MECHANICAL CODE (IMC).

2. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL ELECTRICAL CODE (IEC) AND THE INTERNATIONAL FIRE CODE (IFC).

3. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL ENERGY CONSERVATION CODE (IECC) AND THE INTERNATIONAL SMOKE AND ALARM CODE (ISAC).

4. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL MECHANICAL AND PLUMBING EXAMINERS BOARD (IMPEB) CODES.

5. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL ASSOCIATION OF CEMENT MERCHANTS (IACM) CODES.

6. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL ASSOCIATION OF CONCRETE TECHNOLOGISTS (IACIT) CODES.

7. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL ASSOCIATION OF STEEL CONSTRUCTORS (IASC) CODES.

8. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL ASSOCIATION OF WOODWORKERS (IAW) CODES.

9. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL ASSOCIATION OF PAINTERS AND DECORATORS (IAPD) CODES.

10. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL ASSOCIATION OF CARPENTERS (IAC) CODES.

11. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL ASSOCIATION OF ROOFERS (IAR) CODES.

12. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL ASSOCIATION OF PLUMBERS AND PIPEFITTERS (IAPF) CODES.

13. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL ASSOCIATION OF MECHANICAL ENGINEERS (IAME) CODES.

14. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL ASSOCIATION OF ELECTRICAL ENGINEERS (IAEE) CODES.

15. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL ASSOCIATION OF FIRE ENGINEERS (IAFE) CODES.

16. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL ASSOCIATION OF ENERGY ENGINEERS (IAEE) CODES.

17. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL ASSOCIATION OF SMOKE AND ALARM ENGINEERS (IASAE) CODES.

18. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL ASSOCIATION OF MECHANICAL AND PLUMBING EXAMINERS BOARD (IMPEB) CODES.

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31. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL ASSOCIATION OF SMOKE AND ALARM ENGINEERS (IASAE) CODES.

EVANS ARCHITECTS AIA
MATTHEW G. EVANS
 ARCHITECT REGISTERED PLANNER

200 WASHINGTON AVENUE
 SUITE 200
 WASHINGTON, DC 20001
 TEL: 202.462.1111
 FAX: 202.462.1112
 WWW.EVANSARCHITECTS.COM

PROPOSED 28 UNIT
 MIXED USE APARTMENT
 FOR:
470 HALEDON, LLC
 470 HALEDON AVENUE
 HALEDON, PASSAIC COUNTY, NJ

RAE
 REGISTERED ARCHITECT
 100 WASHINGTON AVENUE
 SUITE 200
 WASHINGTON, DC 20001
 TEL: 202.462.1111
 FAX: 202.462.1112
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 TEL: 202.462.1111
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 WWW.RAEARCHITECTS.COM

SOIL EROSION & SEDIMENT CONTROL NOTES

1. All soil erosion and sediment control measures shall be installed and maintained in accordance with the requirements of the applicable local, state and federal regulations.
2. All erosion control measures shall be installed prior to the commencement of any earthmoving or excavation work.
3. All sedimentation basins shall be installed and maintained in accordance with the requirements of the applicable local, state and federal regulations.
4. All erosion control measures shall be inspected and maintained in accordance with the requirements of the applicable local, state and federal regulations.

DEMOLITION NOTES

1. All work shall be done in accordance with the applicable local, state and federal regulations.
2. All demolition work shall be done in accordance with the requirements of the applicable local, state and federal regulations.
3. All demolition work shall be inspected and maintained in accordance with the requirements of the applicable local, state and federal regulations.
4. All demolition work shall be completed in accordance with the requirements of the applicable local, state and federal regulations.

SEQUENCE OF CONSTRUCTION

1. Excavation and foundation work.
2. Foundation and wall construction.
3. Framing and roof construction.
4. Mechanical, electrical and plumbing (MEP) installation.
5. Interior finishing and painting.
6. Exterior finishing and landscaping.

STANDARD FOR DUST CONTROL

1. All construction activities shall be conducted in accordance with the requirements of the applicable local, state and federal regulations.
2. All dust control measures shall be installed and maintained in accordance with the requirements of the applicable local, state and federal regulations.
3. All dust control measures shall be inspected and maintained in accordance with the requirements of the applicable local, state and federal regulations.
4. All dust control measures shall be completed in accordance with the requirements of the applicable local, state and federal regulations.

SITE NOTES:

1. The site is located in the City of Haledon, New Jersey.
2. The site is zoned as follows: [Zoning Code].
3. The site is bounded by Church Street to the north, Mangold Street to the south, and Haledon Avenue to the east.
4. The site is approximately [Area] square feet.

EXCAVATION, SOIL PREPARATION, AND DEMOLITION NOTES

1. All excavation work shall be done in accordance with the requirements of the applicable local, state and federal regulations.
2. All soil preparation work shall be done in accordance with the requirements of the applicable local, state and federal regulations.
3. All demolition work shall be done in accordance with the requirements of the applicable local, state and federal regulations.
4. All excavation, soil preparation, and demolition work shall be inspected and maintained in accordance with the requirements of the applicable local, state and federal regulations.

DEMOLITION NOTES

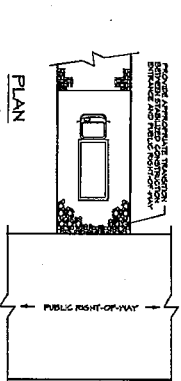
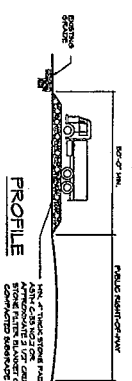
1. All demolition work shall be done in accordance with the requirements of the applicable local, state and federal regulations.
2. All demolition work shall be inspected and maintained in accordance with the requirements of the applicable local, state and federal regulations.
3. All demolition work shall be completed in accordance with the requirements of the applicable local, state and federal regulations.

SEQUENCE OF CONSTRUCTION

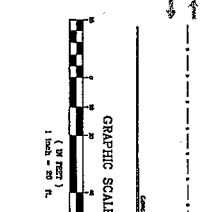
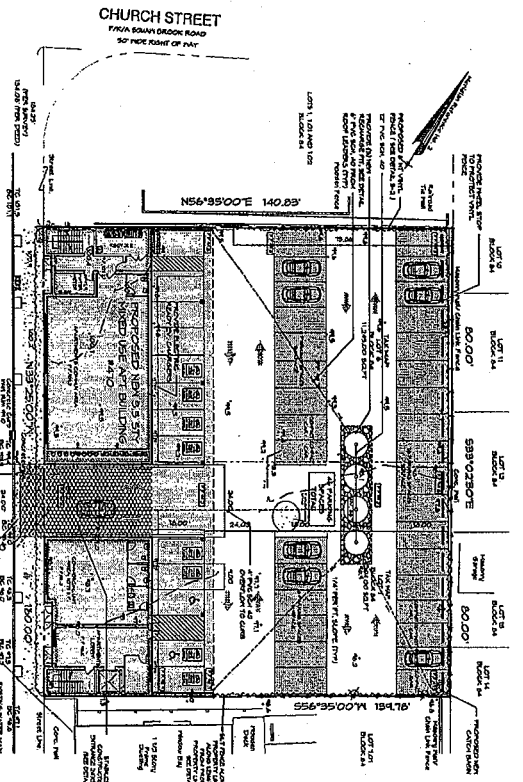
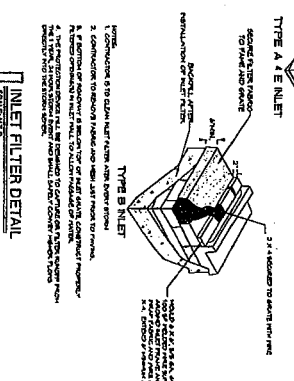
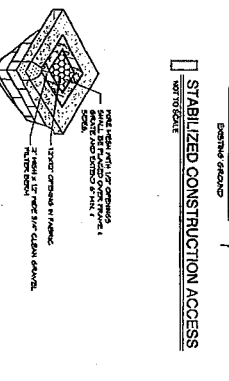
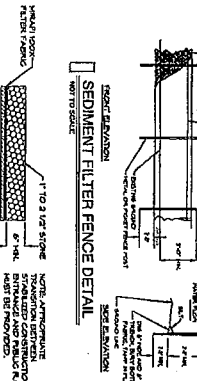
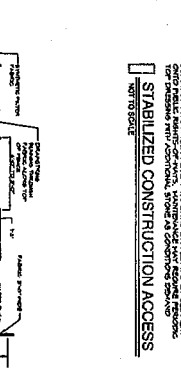
1. Excavation and foundation work.
2. Foundation and wall construction.
3. Framing and roof construction.
4. Mechanical, electrical and plumbing (MEP) installation.
5. Interior finishing and painting.
6. Exterior finishing and landscaping.

STANDARD FOR DUST CONTROL

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2. All dust control measures shall be installed and maintained in accordance with the requirements of the applicable local, state and federal regulations.
3. All dust control measures shall be inspected and maintained in accordance with the requirements of the applicable local, state and federal regulations.
4. All dust control measures shall be completed in accordance with the requirements of the applicable local, state and federal regulations.



STABILIZED CONSTRUCTION ACCESS



SOIL EROSION SITE PLAN

SITE PLAN BASED ON SURVEY PREPARED BY: [Surveyor Name]

SOIL EROSION LEGEND

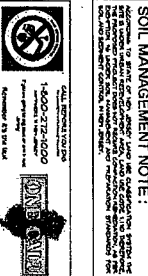
[Symbol]	SET BACK
[Symbol]	STABILIZED CONSTRUCTION ENTRANCE
[Symbol]	STABILIZED CONSTRUCTION
[Symbol]	STABILIZED CONSTRUCTION

LEGEND

[Symbol]	EXISTING LAND CONTIGUOUS
[Symbol]	PROPOSED LAND CONTIGUOUS
[Symbol]	EXISTING SPOT ELEVATIONS
[Symbol]	PROPOSED SPOT ELEVATIONS
[Symbol]	EXISTING LINE
[Symbol]	PROPOSED LINE
[Symbol]	EXISTING CURB
[Symbol]	PROPOSED CURB

SOIL MANAGEMENT NOTE:

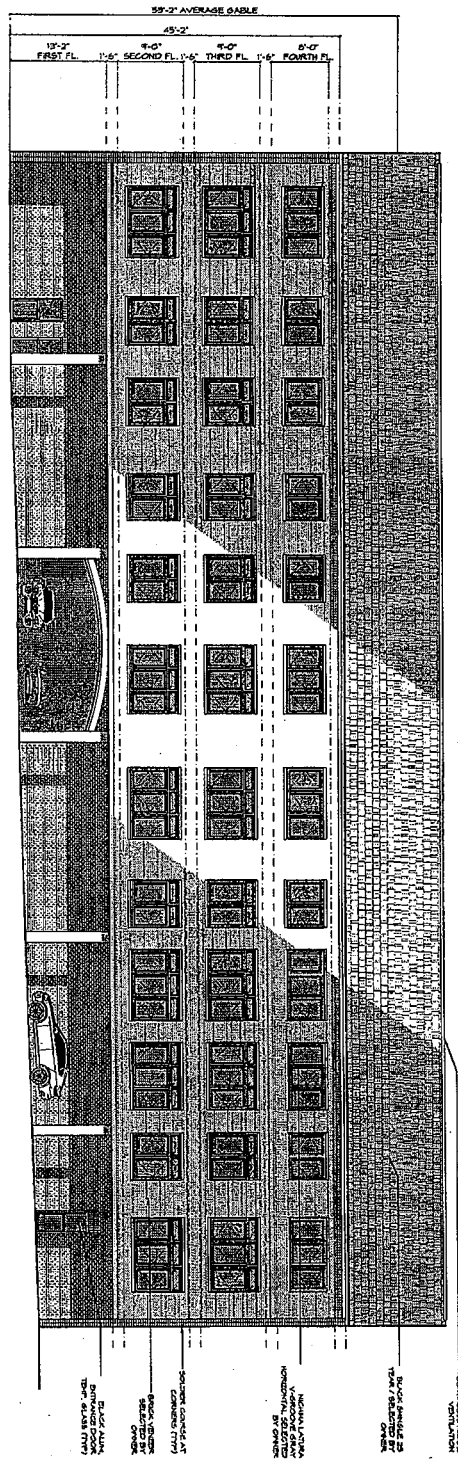
ALL SOIL MANAGEMENT MEASURES SHALL BE INSTALLED AND MAINTAINED IN ACCORDANCE WITH THE REQUIREMENTS OF THE APPLICABLE LOCAL, STATE AND FEDERAL REGULATIONS.



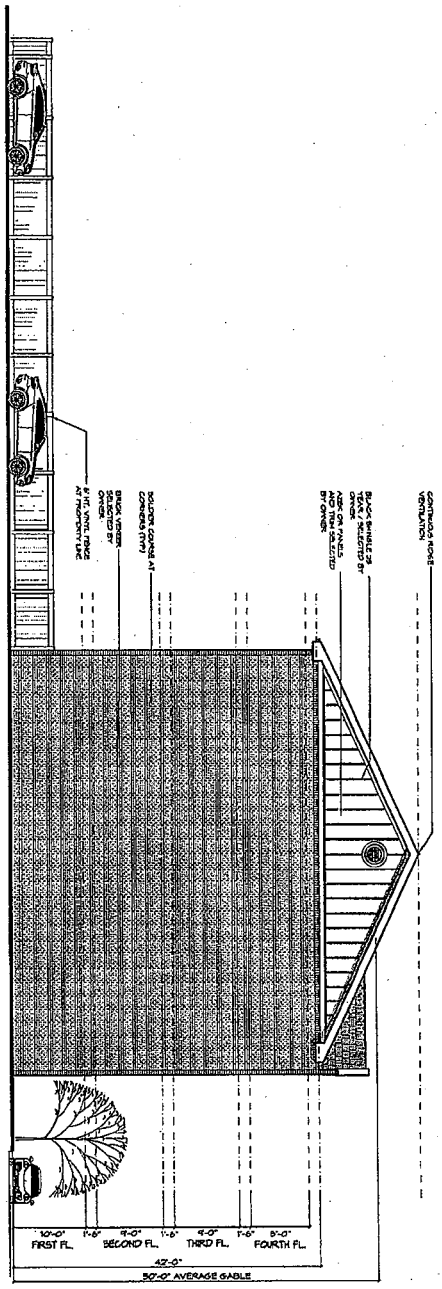
SOIL EROSION

DATE	NOV 11 2011
SCALE	AS SHOWN
PROJECT	PROPOSED 28 UNIT MIXED USE APARTMENT FOR: 470 HALEDON AVENUE, HALEDON, PASSAIC COUNTY, NJ
DESIGNED BY	EVANS ARCHITECTS AIA
CHECKED BY	MATTHEW S. EVANS
DATE	NOV 11 2011

EVANS ARCHITECTS AIA
 MATTHEW S. EVANS
 ARCHITECT
 470 HALEDON AVENUE
 HALEDON, NJ 07035



REAR ELEVATION



LEFT SIDE ELEVATION

LEGEND

[Symbol]	FINISH
[Symbol]	BRICK
[Symbol]	CONCRETE
[Symbol]	GLASS
[Symbol]	WOOD
[Symbol]	ROOF
[Symbol]	LANDSCAPE
[Symbol]	VEGETATION
[Symbol]	VEHICLE

EVANS ARCHITECTS AIA
MATTHEW Q. EVANS
 ARCHITECT
 470 HALEDON AVENUE
 HALEDON, PASSAIC COUNTY, NJ

PROPOSED 26 UNIT MIXED USE APARTMENT FOR:
470 HALEDON AVENUE
HALEDON, PASSAIC COUNTY, NJ

DATE: 08/21/2018
 DRAWING NO: A-4
 SHEET NO: 1 OF 1

ELEVATIONS

SCALE: 1/8" = 1'-0"

DATE: 08/21/2018

JOHN G. BILBERT
 250 N. 10TH STREET
 SUITE 200
 PHILADELPHIA, PA 19107
 (215) 562-1234
 JGB@GIBBERT.COM

DESIGNER/ARCHITECTURAL GROUP LLC

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LOT 8
 BLOCK 42
 61 NORWOOD STREET
 FOR MR. ROBERT ORMEZZANO
PROPOSED SUBDIVISION PLAN

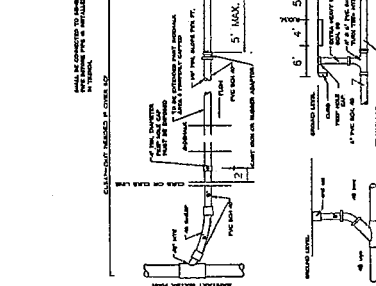
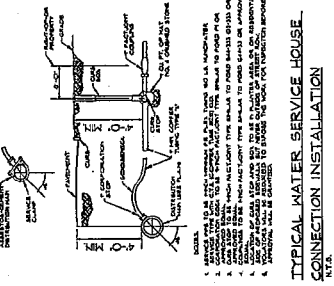
1.	LOCAL 11/18/2019
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PROPOSED SITE PLAN

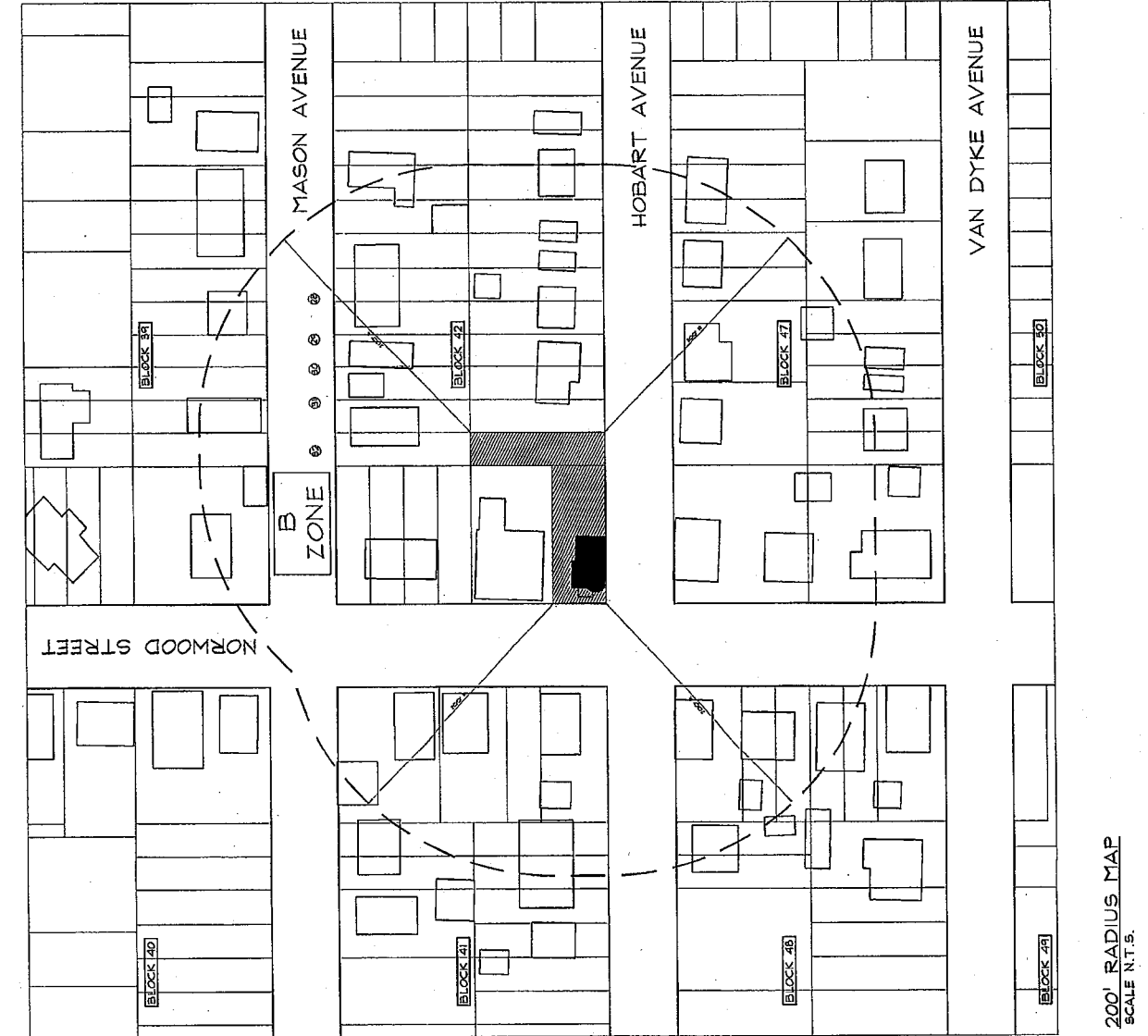
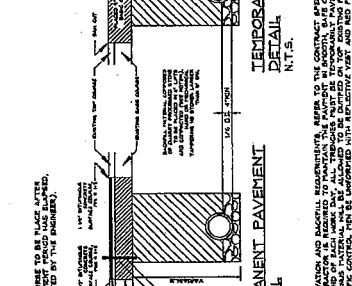
BLICKER ARCHITECTURAL GROUP LLC
 1000 MARKET STREET
 PHILADELPHIA, PA 19107
 (215) 562-1234

DRAWN BY: JG
 CHECKED BY: JG
 DATE: 03/23/19

SP-200



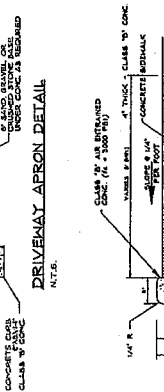
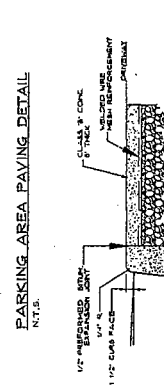
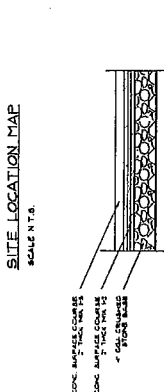
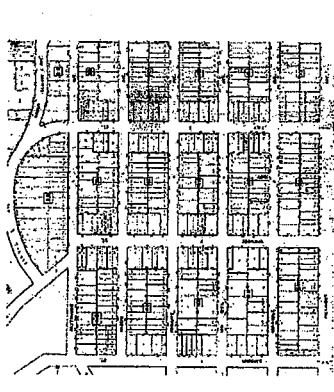
1.	LOCAL 11/18/2019
2.	
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NOTE:
 1. THE CONTRACTOR SHALL MAINTAIN THE EXISTING PAVEMENT IN GOOD CONDITION.
 2. THE CONTRACTOR SHALL MAINTAIN THE EXISTING PAVEMENT IN GOOD CONDITION.
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 5. THE CONTRACTOR SHALL MAINTAIN THE EXISTING PAVEMENT IN GOOD CONDITION.
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JOHN G. BLECKER
 ARCHITECTURAL GROUP LLC
 100 WEST 17TH STREET
 NEW YORK, NY 10011
 TEL: 212-255-1234
 FAX: 212-255-1235

PROPOSED SUBDIVISION PLAN
 FOR MR. ROBERT ORMEZZANO
 61 NORWOOD STREET
 BLOCK 42
 LOT 8
 BOROUGH OF HALEDON, PASSAYIC COUNTY, NEW JERSEY



STORM WATER CALCULATIONS

DESIGN PARAMETERS:

1. VULNERABILITY: 10% (BASED ON 10% VULNERABILITY PER FEMA AND 10% TO RETAIN STORMS VULNERABILITY)
2. WIND SPEED: 100 MPH (10-MINUTE SUSTAINED WIND SPEED)
3. WIND DIRECTION: 090 DEGREE
4. WIND PERIOD: 30 SECONDS
5. WIND EXPOSURE: 30 SECONDS
6. WIND PROFILE: 10% (BASED ON 10% WIND PROFILE PER FEMA)
7. WIND PROFILE: 10% (BASED ON 10% WIND PROFILE PER FEMA)
8. WIND PROFILE: 10% (BASED ON 10% WIND PROFILE PER FEMA)
9. WIND PROFILE: 10% (BASED ON 10% WIND PROFILE PER FEMA)
10. WIND PROFILE: 10% (BASED ON 10% WIND PROFILE PER FEMA)

AREA	PERCENT IMPERVIOUS	DRY WEATHER	WET WEATHER
ROOF	100%	0.000	0.000
DRIVEWAY	100%	0.000	0.000
PARKING	100%	0.000	0.000
LANDSCAPE	0%	0.000	0.000
STREET	100%	0.000	0.000
TOTAL	100%	0.000	0.000

OFF STREET PARKING REQUIREMENTS

ONE AND A HALF (1 1/2) SPACES PER DWELLING UNIT
 TWO DWELLING UNITS - 3 SPACES PER UNIT
 5.0 PARKING SPACES REQUIRED
 4.0 PARKING SPACES PROVIDED

DEEP DESCRIPTION (1) NORWOOD STREET
 BOROUGH OF HALEDON, NEW JERSEY

REGULATIONS AS THE RESULT OF THE VARIANCE PERMITS THE USE OF THE DEEP DESCRIPTION (1) NORWOOD STREET, AND RUNNING PARALLEL THEREON:

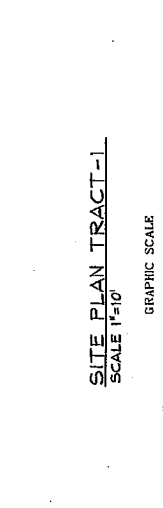
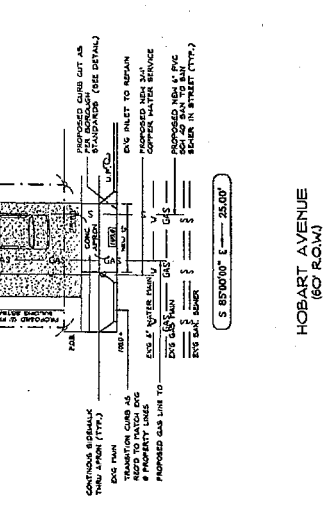
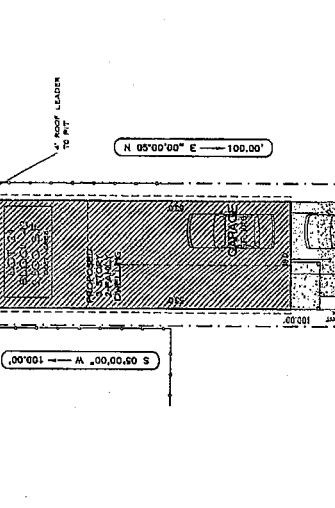
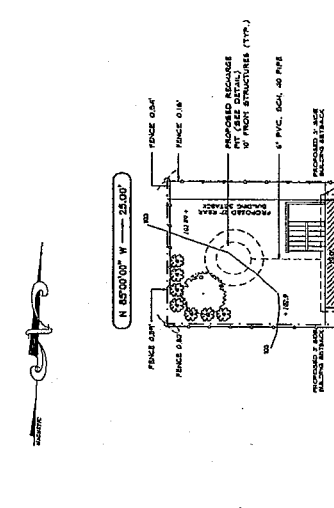
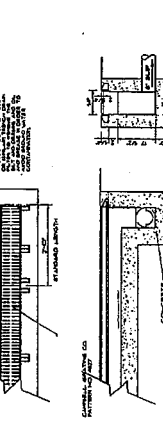
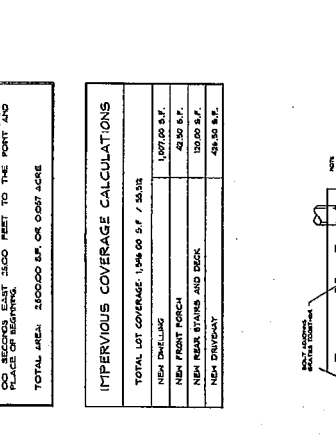
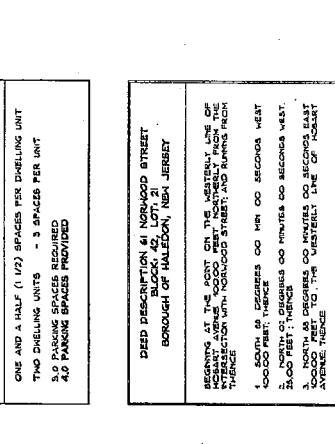
1. NORTH OF DEEP DESCRIPTION (1) NORWOOD STREET, AND RUNNING PARALLEL THEREON, THERE SHALL BE A DEEP DESCRIPTION (1) NORWOOD STREET, AND RUNNING PARALLEL THEREON, WITH A WIDTH OF 10 FEET.
2. NORTH OF DEEP DESCRIPTION (1) NORWOOD STREET, AND RUNNING PARALLEL THEREON, THERE SHALL BE A DEEP DESCRIPTION (1) NORWOOD STREET, AND RUNNING PARALLEL THEREON, WITH A WIDTH OF 10 FEET.
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8. NORTH OF DEEP DESCRIPTION (1) NORWOOD STREET, AND RUNNING PARALLEL THEREON, THERE SHALL BE A DEEP DESCRIPTION (1) NORWOOD STREET, AND RUNNING PARALLEL THEREON, WITH A WIDTH OF 10 FEET.
9. NORTH OF DEEP DESCRIPTION (1) NORWOOD STREET, AND RUNNING PARALLEL THEREON, THERE SHALL BE A DEEP DESCRIPTION (1) NORWOOD STREET, AND RUNNING PARALLEL THEREON, WITH A WIDTH OF 10 FEET.
10. NORTH OF DEEP DESCRIPTION (1) NORWOOD STREET, AND RUNNING PARALLEL THEREON, THERE SHALL BE A DEEP DESCRIPTION (1) NORWOOD STREET, AND RUNNING PARALLEL THEREON, WITH A WIDTH OF 10 FEET.

IMPERVIOUS COVERAGE CALCULATIONS

ITEM	AREA (S.F.)	PERCENT IMPERVIOUS	TOTAL IMPERVIOUS (S.F.)
ROOF	1,000.00	100%	1,000.00
DRIVEWAY	500.00	100%	500.00
PARKING	1,000.00	100%	1,000.00
LANDSCAPE	1,000.00	0%	0.00
STREET	1,000.00	100%	1,000.00
TOTAL	4,500.00	100%	4,500.00

ZONING ORDINANCE DATA

REQUIREMENT	EXISTING	PROPOSED	VARIANCE
LOT USE	RESIDENTIAL	RESIDENTIAL	NO
LOT AREA	4,500 S.F.	2,500 S.F.	YES
FRONT YARD SETBACK	15'	10'	YES
SIDE SETBACK (LEFT)	5'	5'	NO
SIDE SETBACK (RIGHT)	5'	5'	YES
REAR SETBACK	10'	10'	YES
BUILDING HEIGHT	35'	35'	NO
BUILDING HEIGHT (STORY)	3 1/2	3	YES
LOT COVERAGE	40%	40%	NO
% DWELLINGS PER ACRE	NONE	3	NO
FLOOR AREA RATIO	NONE	1.05	NO



PROPOSED SUBDIVISION PLAN
 FOR MR. ROBERT ORMEZZANO
 61 NORWOOD STREET
 BLOCK 42
 LOT 8
 BOROUGH OF HALEDON, PASSAYIC COUNTY, NEW JERSEY

BLECKER ARCHITECTURAL GROUP LLC
 ARCHITECTURAL GROUP LLC
 100 WEST 17TH STREET
 NEW YORK, NY 10011
 TEL: 212-255-1234
 FAX: 212-255-1235

PROPOSED SITE PLAN

DRY WELL DETAIL
 N.T.S.

DRY WELL SECTION DETAIL
 N.T.S.

TRENCH GRATE DETAIL
 N.T.S.

GRAPHIC SCALE
 1 inch = 10 feet

SP-300

ARCHITECTURAL ELEVATIONS
 1000 W. 10TH STREET
 SUITE 100
 PHILADELPHIA, PA 19104
 TEL: 215-592-1000
 FAX: 215-592-1001
 WWW: WWW.BLEEKERARCH.COM

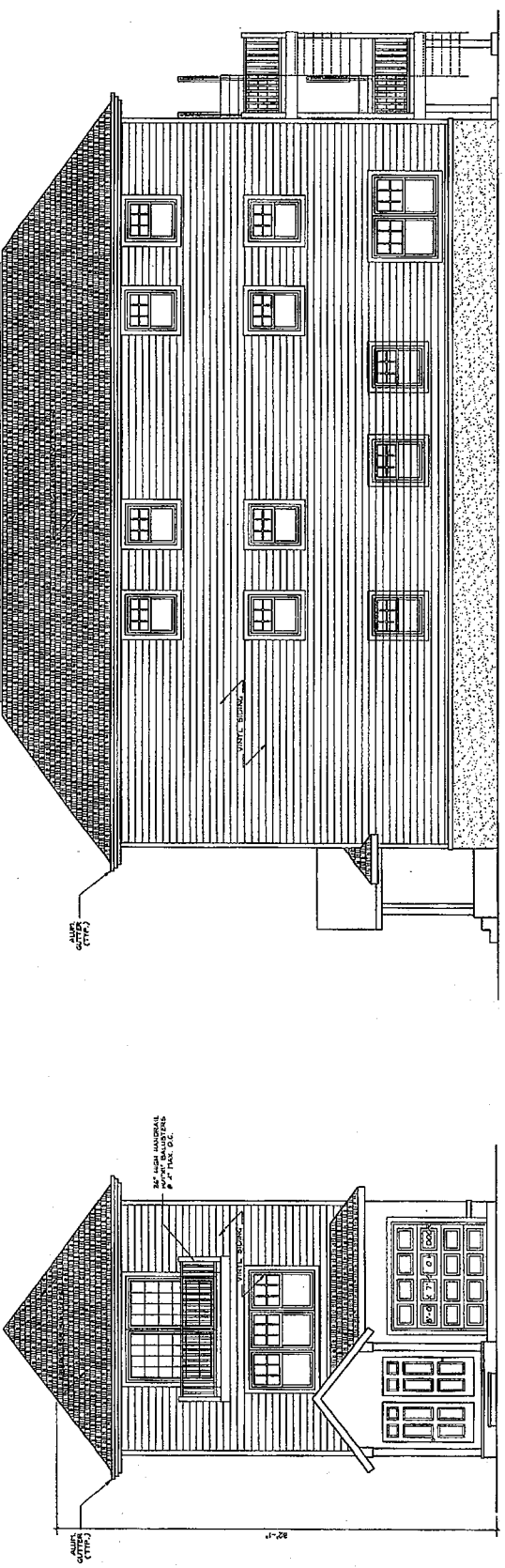
PROPOSED SUBDIVISION PLAN
 FOR MR. ROBERT ORMEZZANO
 61 NORWOOD STREET
 BLOCK 42
 LOT 8
 BOROUGH OF HALEDON, PASSAIC COUNTY, NEW JERSEY

NO.	REVISIONS
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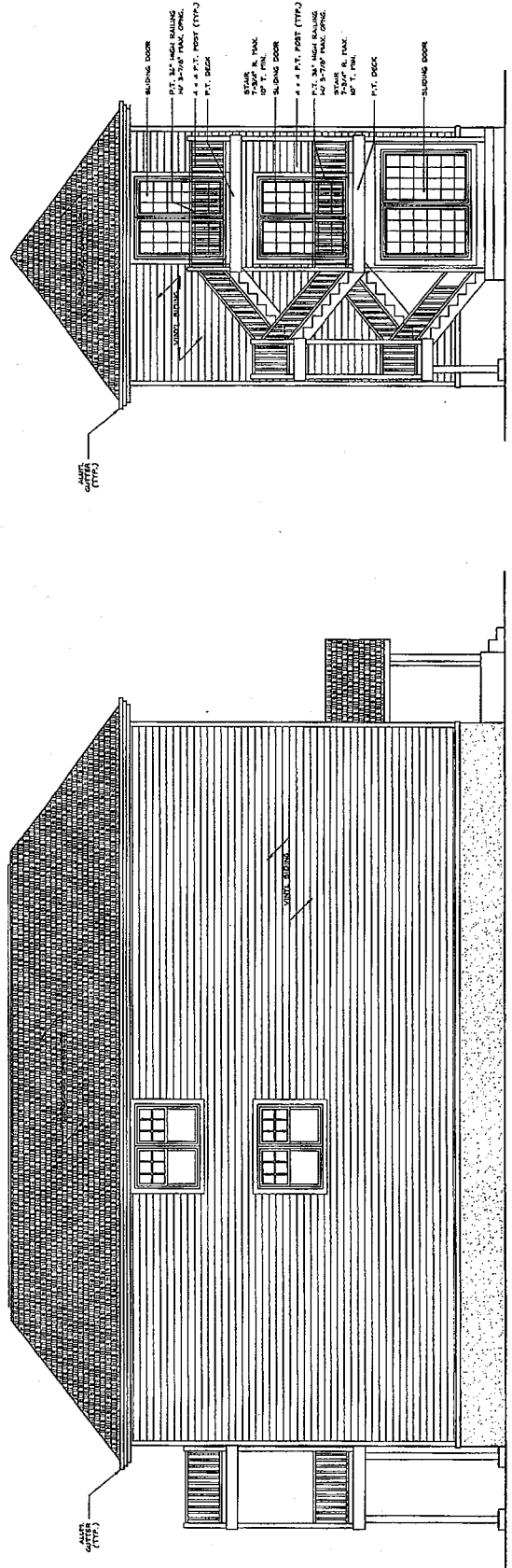
TITLE
 ARCHITECTURAL ELEVATIONS
 BLEEKER ARCHITECTURAL GROUP, LLC
 1000 W. 10TH STREET
 SUITE 100
 PHILADELPHIA, PA 19104
 TEL: 215-592-1000
 FAX: 215-592-1001
 WWW: WWW.BLEEKERARCH.COM

DRAWN BY: JH
 CHECKED BY: JH
 DATE: 03/10/10

A-1



RIGHT-SIDE ELEVATION
SCALE: 1/4" = 1'-0"



FRONT ELEVATION
SCALE: 1/4" = 1'-0"

REAR ELEVATION
SCALE: 1/4" = 1'-0"

LEFT-SIDE ELEVATION
SCALE: 1/4" = 1'-0"

JOHN BLEEKER
 ARCHITECTURAL GROUP LLC
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 SUITE 200
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 WWW.BLEEKERARCHITECTURALGROUP.COM

PROPOSED SUBDIVISION PLAN
 FOR MR. ROBERT ORMEZZANO
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 LOT 8
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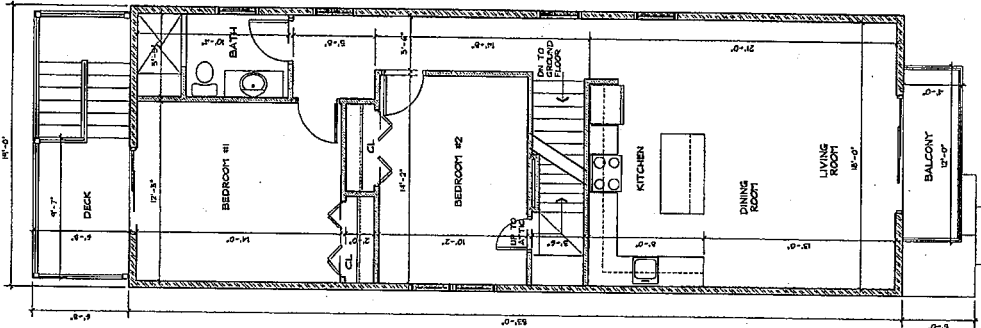
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TITLE
 ARCHITECTURAL
 FLOOR PLANS

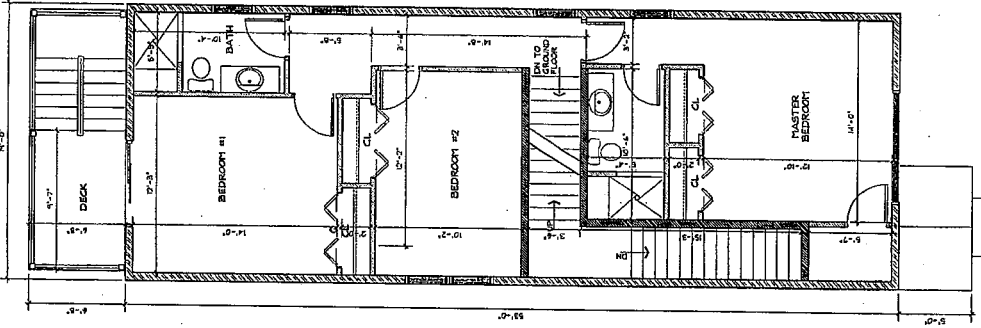
BLEEKER
 ARCHITECTURAL
 GROUP LLC
 100 N. 10TH STREET
 SUITE 200
 PHILADELPHIA, PA 19107
 TEL: 215-592-1234
 FAX: 215-592-1235
 WWW.BLEEKERARCHITECTURALGROUP.COM

DRAWN BY: JH
 CHECKED BY: JH
 DATE: 03/28

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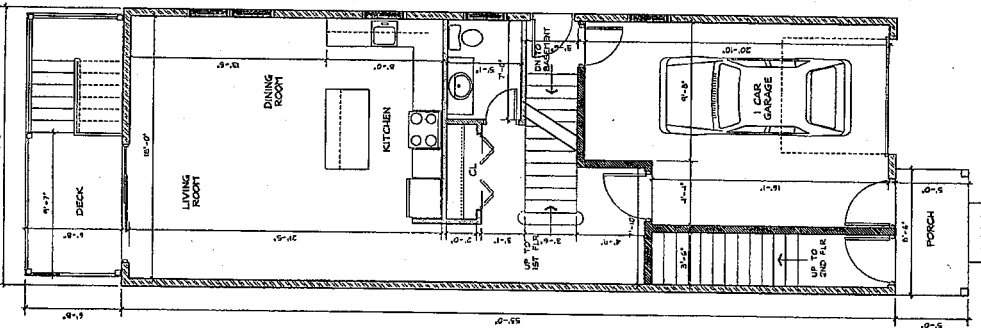


SECOND FLOOR PLAN
 SCALE: 1/8" = 1'-0"



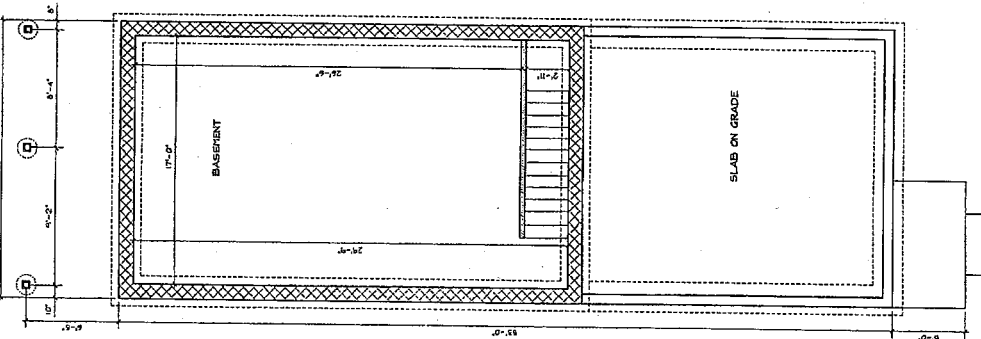
FIRST FLOOR PLAN
 SCALE: 1/8" = 1'-0"

BUILDING AREAS	
BASEMENT	450.25 SQ. FT.
GROUND FLOOR	1077.00 SQ. FT.
FIRST FLOOR	1077.00 SQ. FT.
SECOND FLOOR	1077.00 SQ. FT.
TOTAL AREA	3,081.25 SQ. FT.



GROUND FLOOR PLAN
 SCALE: 1/8" = 1'-0"

R.J.U.C.C. NOTES	
CONSTRUCTION TYPE	M-4
USE GROUP	M-4
OCCUPANCY LOADING	200 LB/SQ. FT.
FLOOR LIVE LOAD	40 PSF
FIRE CRACKING	1.00%
BUILDING AREA	1077 SQ. FT.
BUILDING VOLUME	3081.25 CU. FT.



BASEMENT PLAN
 SCALE: 1/8" = 1'-0"

MALL LEGEND	
[Symbol]	8" or 12" CONCRETE BLOCK MALL
[Symbol]	2"x4" W. O.C. STUD MALL
[Symbol]	N/ 8" O.P. BD. EACH SIDE
[Symbol]	2"x4" W. O.C. STUD MALL
[Symbol]	N/ 12" O.P. BD. EACH SIDE
[Symbol]	2"x4" W. O.C. STUD MALL
[Symbol]	N/ 8" O.P. BD. INSIDE SIDE